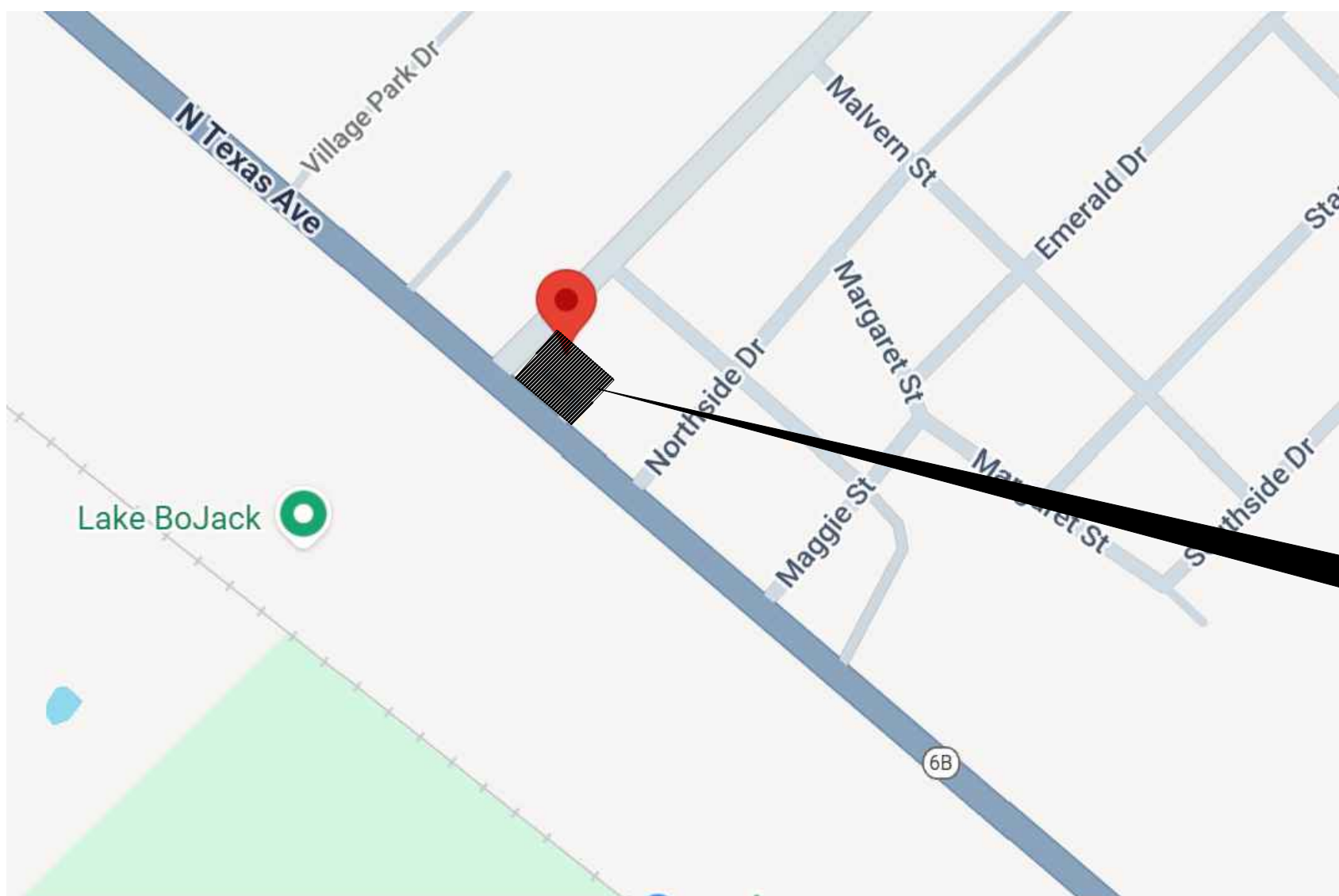
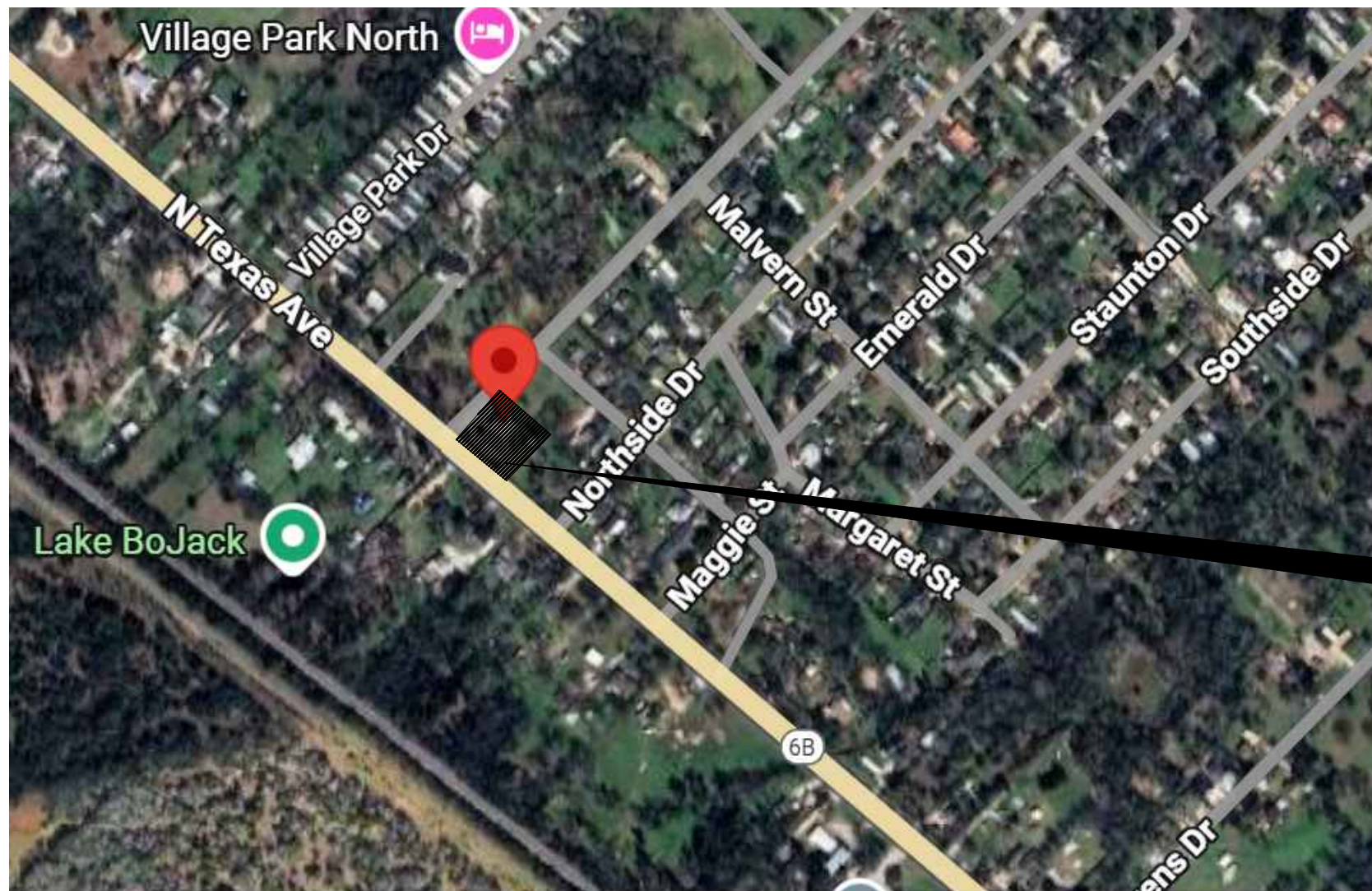


PROPOSED "C-STORE & GAS STATION"
LOCATED AT
4311 N TEXAS AVE, BRYAN, TX 77803



VICINITY MAP
SCALE: N.T.S



PROJECT LOCATION
SCALE: N.T.S

FLOOD PLAN INFORMATION
THE SUBJECTED PROPERTY " IS NOT " LOCATED IN FEDERAL INSURANCE ADMINISTRATION DESIGNATED FLOOD HAZARD AREA AND IS IN ZONE " X" MAP NO.48041C0185E. DATED: 5/16/2012. THIS INFORMATION IS BASED ON GRAPHIC PLOTTING ONLY. WE DON'T ASSUME RESPONSIBILITY FOR EXACT DETERMINATION.

DEVELOPMENT AREA
TOTAL ACREAGE = 1.07 ACRES PROPOSED DEVELOPMENT = 1.07 ACRES TYPE OF DEVELOPMENT = 1STORY BUILDING

PROJECT DESCRIPTION

PROJECT NAME : PROPOSED "C-STORE AND GAS STATION"
LOCATION : 4311 N TEXAS AVE, BRYAN , TEXAS 77803
PROJECT DESCRIPTION : PROPOSED C-STORE 5,700 SQ.FT AND WASHATERIA AREA OF 2,400 SQ.FT EACH.

SHEET INDEX

CIVIL	
C-0.0	COVER SHEET
C-1.0	DEMOLITION PLAN
C-2.0	SITE PLAN
C-3.0	GRADING PLAN
C-3.1	DRAINAGE PLAN
C-3.2	SITE SECTION & DRAINAGE CALCULATIONS
C-4.0	EROSION CONTROL PLAN
C-5.0	UTILITY PLAN
C-6.0	PAVING PLAN
C-7.0	SITE DETAILS
C-7.1	CONSTRUCTION DETAILS
C-7.2	SWPPP DETAILS
L-100	LANDSCAPE SITE PLAN
C-201	GAS TRUCK DELIVERY AUTO-TURN EXHIBIT

ISSUE FOR:	
FOR INTER REVIEW ONLY	<input type="checkbox"/>
BID ONLY	<input type="checkbox"/>
PERMITS SET	<input type="checkbox"/>
CONSTRUCTION SET	<input checked="" type="checkbox"/>

REVISIONS:		
NO.	DATE	DESCRIPTION



LEGAL DESCRIPTION:
TOPOGRAPHY SURVEY OF LOTS 1, 2, 3, 4, 7, 8, BLOCK 1 MARGARET WALLACE SUBDIVISION VOLUME 138, PAGE 573, B.C.P.R. LOCATED IN THE MOSES BAINE LEAGUE, A-3, BRAZOS COUNTY, TEXAS
LOT AREA:
1.072 ACRES (46,676.04 SQ. FT.)
PROPERTY OWNER CONTACT INFORMATION:
OWNER NAME: NAZARANA PROPERTIES INC PHONE: (979) 450-3350 EMAIL: asifumaiya@gmail.com

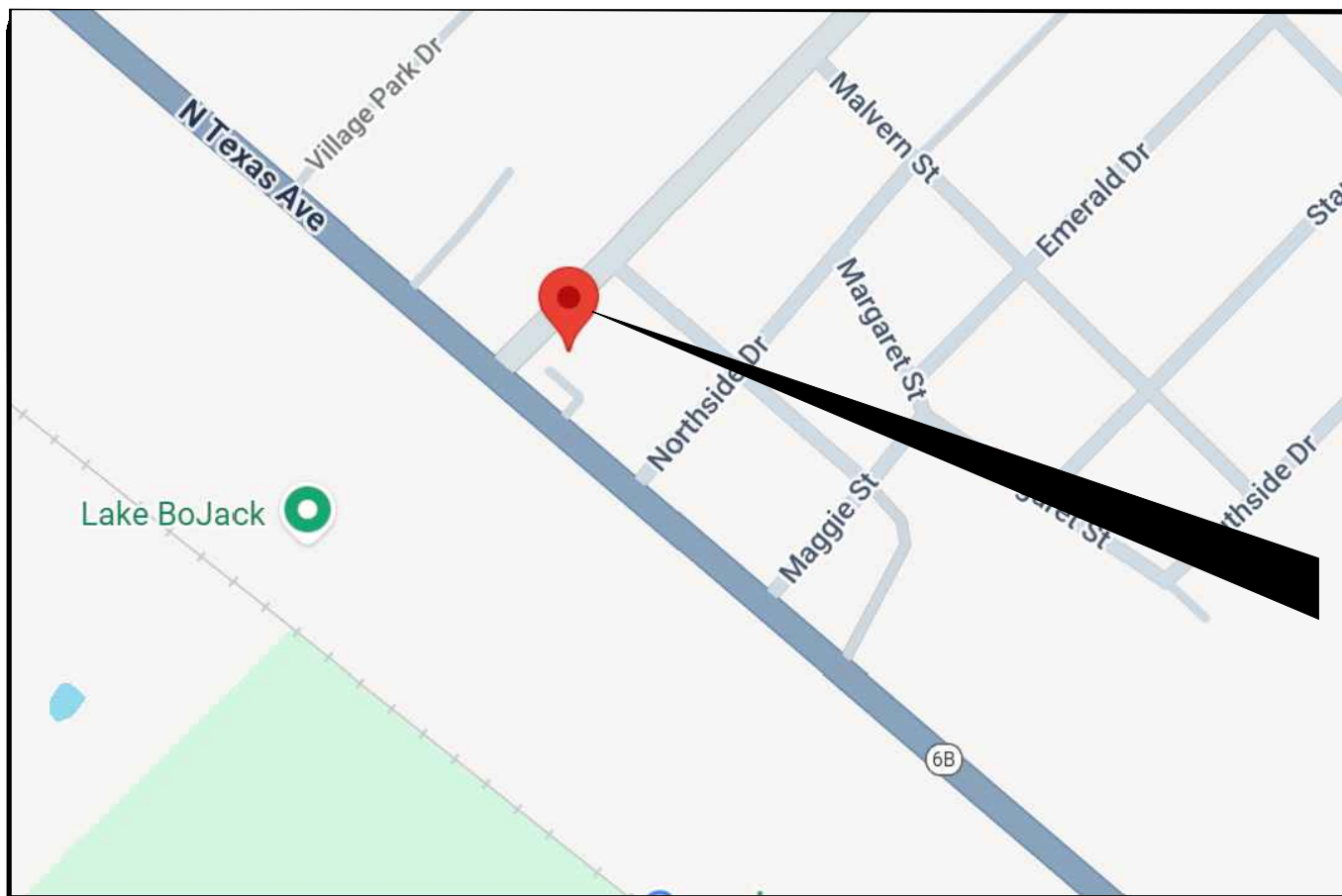
PROP – LAMPO’S GROCERY
LOCATED AT
4311 N TEXAS AVE, BRYAN, TX 77803

SEAL :
DATE: 03/06/2025

PROJECT NUMBER :	25-006
SCALE :	
DRAWN BY :	R.R.
CHECKED BY :	A.Z
SHEET TITLE :	

COVER SHEET

DRAWING NUMBER:
C-0.0



VICINITY MAP
N.T.S

PROJECT
LOCATION



- NOTE:
- CONDITIONAL USE PERMIT CASE NUMBER RELATED TO THIS SITE.
(CONDITIONAL USE PERMIT CASE NO. SP24-000129)
 - ALL MINIMUM BUILDING SETBACKS SHALL BE IN ACCORDANCE WITH THE CITY OF BRYAN CODE OF ORDINANCES.

- SIGNAGE NOTE (RETAIL DISTRICT - C-2 ZONING):
- FREESTANDING SIGNAGE FOR MOTOR FUEL RETAIL MAY BE UP TO EIGHT (8) FEET IN HEIGHT AND HAVE A MAXIMUM SIGN AREA OF FORTY (40) SQUARE FEET. THE SIGN MUST ALSO BE OF THE SAME BRICK OR MASONRY MATERIAL AS THE PRINCIPAL STRUCTURE.

- NOTE:
- CALL CITY OF BRYAN PUBLIC WORKS (979-209-5900), TEXAS ONE CALL DOES NOT MARK UTILITIES OWNED BY THE CITY OF BRYAN

SITE DATA SUMMARY	
EXISTING ZONING	RETAIL DISTRICT C-2
GROSS SITE AREA	1.072 ACRE
PROPOSED USE	1 STORY 8,100 SF RETAIL CENTER
MAX. BUILDING HEIGHT	33'-0"

CONSTRUCTION NOTES:

- TRASH ENCLOSURE SEE DETAIL ON SHEET A-2.3
- 6" CONCRETE CURB SEE DETAIL ON SHEET C-7.0.
- CONCRETE SIDEWALK SEE DETAIL ON SHEET C-7.0.
- NEW PAVEMENT MARKING FOR PARKING SPACES
- FOR ADA PARKING DETAIL AND SIGN REFER DETAIL ON SHEET C-6.0.
- NEW DRIVEWAY PER CITY STANDARD DETAIL NO. ST2-03. SEE DETAIL ON SHEET C-7.1.
- INSTALL NEW BOLLARDS. SEE DETAIL ON THIS SHEET.
- PROPOSED FUEL TANK LOCATION.
- 5.0' CONCRETE SIDEWALK. SEE DETAIL NO. SW1-02A ON SHEET C7.1
- RETAINING WALL, REFER GRADING PLAN FOR WALL HEIGHT.
- 5'-0" INTERNAL WALKWAYS SHOULD BE DISTINGUISHED FROM DRIVING SURFACES THROUGH THE USE OF SPECIAL PAVERS, BRICKS, OR STAMPED/SCORED CONCRETE.

DIMENSION LAYOUT NOTES:

- THE CONTRACTOR SHALL LAYOUT AND VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR DIRECTION AND RESOLUTION OF DISCREPANCIES PRIOR TO PROCEEDING.
- VERIFY LOCATIONS OF ALL SITE IMPROVEMENTS INSTALLED UNDER OTHER SECTIONS. IF ANY PART OF THIS PLAN CANNOT BE FOLLOWED DUE TO SITE CONDITIONS, CONTACT THE ENGINEER FOR INSTRUCTION PRIOR TO COMMENCING WORK.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE.
- WHERE DIMENSIONS ARE CALLED AS "EQUAL", ALL REFERENCED ITEMS SHALL BE SPACED EQUALLY, MEASURED TO THEIR CENTER LINES.
- ALL DIMENSIONS ARE PERPENDICULAR TO FACE OF BUILDING, WALL OR OTHER FIXED SITE IMPROVEMENT AND DIMENSIONS AT CURB ARE FROM BACK OF CURB UNLESS OTHERWISE NOTED.
- INSTALL ALL INTERSECTING ELEMENTS AT 90 DEGREES TO EACH OTHER UNLESS OTHERWISE NOTED.

EXPANSION JOINTS:

- PROVIDE EXPANSION JOINTS IN ALL CASES WHERE CONCRETE FLATWORK MEETS OTHER STRUCTURES SUCH AS WALLS, CURBS, STEPS & BUILDINGS OR WHERE CONCRETE ABUTS EXISTING CONCRETE PAVING, UTILITY VAULTS, JUNCTION BOXES, ETC. EXPANSION JOINTS REQUIRED AT THESE STRUCTURES MAY NOT BE SHOWN ON THESE DRAWINGS BUT ARE A CONSTRUCTION REQUIREMENT. SEE DETAILS FOR LOCATIONS THAT REQUIRE INSTALLATION OF DOWELS.

GENERAL NOTES

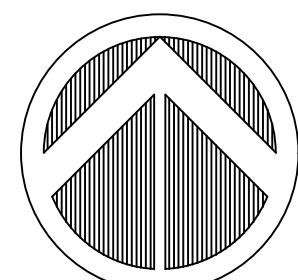
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- ALL AREAS NOT WITHIN THE PAVED AREA ARE TO RECEIVE LOOSE STRAW TO PROVIDE EROSION CONTROL IF WORK IS NOT PROGRESSING IN AN ORDERLY MANNER. A RATE OF 1.5 TONS/ACRE IS TO BE APPLIED WITHIN TWO WEEKS OF FINAL GRADING.
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- CONTRACTOR WILL CONTROL AND PREVENT OFF-SITE TRACKING OF CONSTRUCTION RUNOFF AND SEDIMENT TO ADJACENT PROPERTY AND PUBLIC ROADS.
- CONTRACTOR IS TO PROTECT EXISTING STORM DRAINAGE SYSTEM.
- CONTRACTOR TO CONFORM TO ALL CONSTRUCTION STORM WATER AND EROSION CONTROL PERMITTING REQUIREMENTS BY "EPA PHASE II STORM WATER REGULATIONS" AS ADMINISTERED BY THE TEXAS COMMISSION OF ENVIRONMENTAL QUALITY. WHERE PERMITTING IS REQUIRED, A COPY OF THE NOTICE OF INTENT SHALL BE PROVIDED TO THE LOCAL MUNICIPAL AUTHORITY.
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CITY OF BRYAN CONSTRUCTION NOTES:

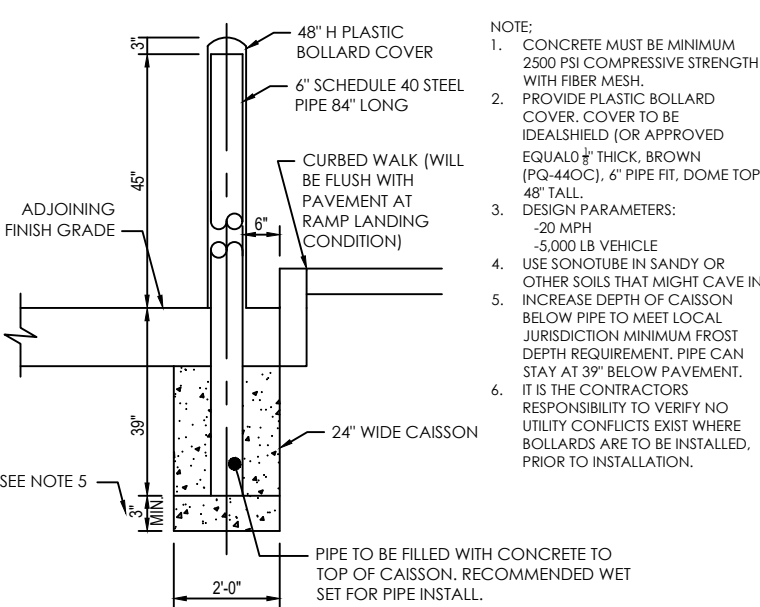
- Before enclosure construction/modification begins contact Solid Waste, at (979)209-5900 for an on-site review.
- If any changes are made to the enclosure plan during the construction phase please contact Solid Waste to review modifications.
- Dumpster containment areas shall use 8" concrete, reinforced with #5 bars at 12" OCEW and the pad shall extend an additional 10' in front of the containment area.
- The dumpster containment area shall be surrounded on three sides with a screen constructed to a height of six feet.
- Ban all-weather access route (i.e. parking lots, loading docks, private roads, alleys, etc.) capable of supporting the container and the collection truck must be constructed and will be maintained and repaired at the business owner's expense.
- The pad, screening and doors will be constructed and maintained at the property owner's expense.

PARKING CALCULATION:-

CONVENIENCE STORE (TYPE M)	
CONVENIENCE STORE: 8100.00 Sqft /250 =	33
TOTAL PARKING REQUIRED	= 33
ADA PARKING PROVIDED	= 2
PUMP SPACES PROVIDED	= 8
PARKING PROVIDED	= 26
TOTAL PARKING PROVIDED	= 36



20 10 0 20 40
SCALE



BOLLARD
SCALE: N.T.S

ISSUE FOR:

FOR INTER REVIEW ONLY
BID ONLY
PERMITS SET
CONSTRUCTION SET

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NO.	DATE	DESCRIPTION



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LOCATED IN THE MOSES BANE LEAGUE, A-3,
BRAZOS COUNTY, TEXAS

LOT AREA:
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PROPERTY OWNER CONTACT INFORMATION:
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PHONE: (979) 450-3350
EMAIL: asilumutiyto@gmail.com

PROP - LAMPO'S GROCERY
LOCATED AT
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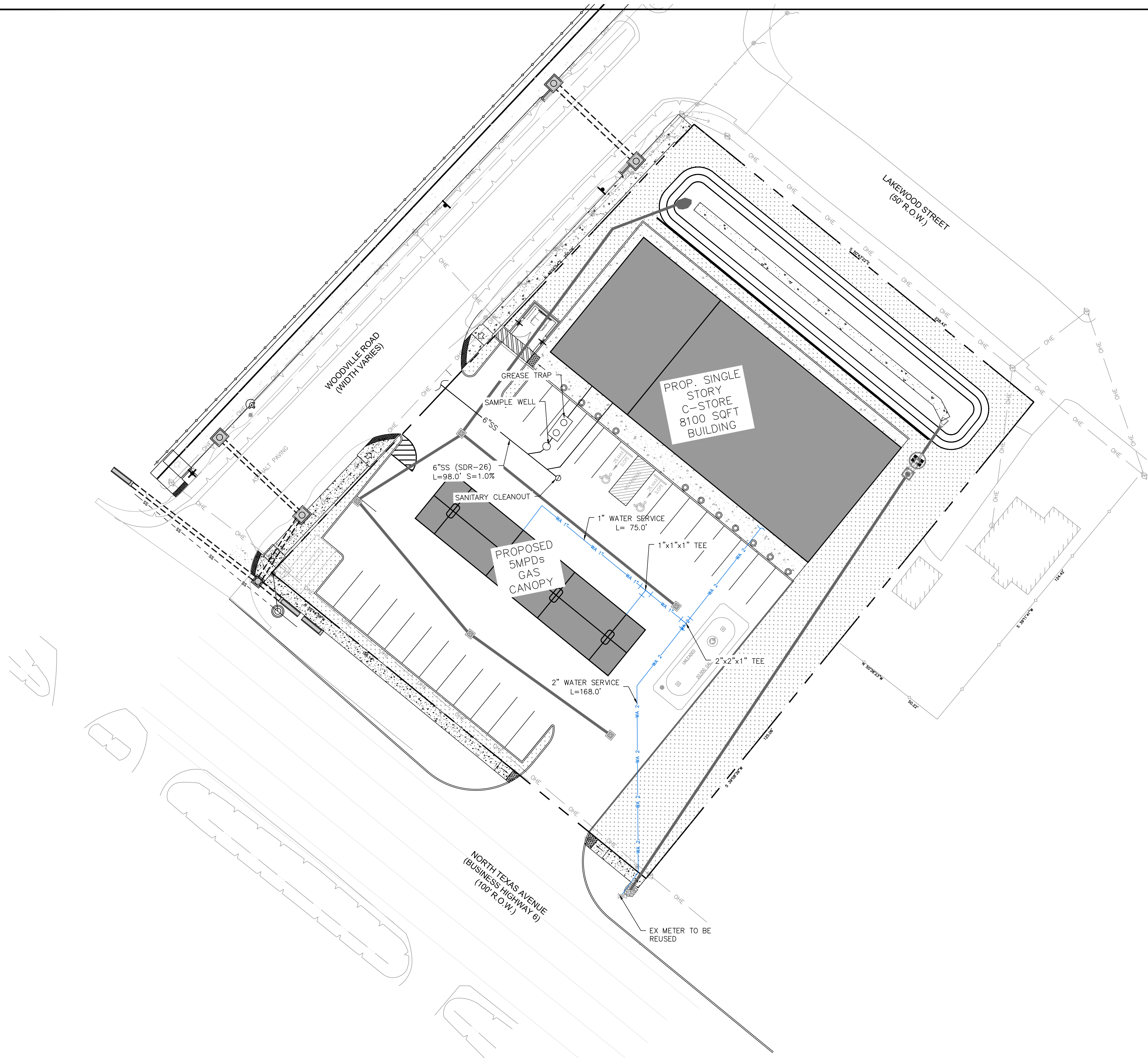
DATE: 03/06/2025

PROJECT NUMBER : 25-006
SCALE :
DRAWN BY : R.R.
CHECKED BY : A.Z.
SHEET TITLE :

SITE PLAN

DRAWING NUMBER:

C-2.0



- SEWER NOTES:
- SANITARY SEWER PIPE TO BE SCH. 40 (PVC) FOR 6" OR LESS AND SDR-35 (PVC) FOR 8" MEETING ASTM SPECIFICATIONS D1785 & D2665 UNLESS OTHERWISE NOTED.
 - ALL SEWERS SHALL HAVE CLASS A BEDDING IN ACCORDANCE WITH BRYAN CITY.
 - ALL SANITARY SEWERS CROSSING ABOVE OR BELOW WATERLINES WITH 6 INCHES TO 9 FEET CLEARANCE SHALL HAVE A 20" JOINT OF 150 PSI AWWA C-900 SDR-18 18" V.C. SANITARY SEWER PIPE CENTERED ON WATERLINE, EXCEPT WHERE DUCTILE IRON PIPE IS USED.
 - SANITARY SEWER MANHOLE RIMS OUTSIDE OF PROPOSED PAVING WILL BE SET 3'-4" ABOVE THE SURROUNDING LEVEL FINISHED GRADE AFTER PAVING WITH SLOPED BACKFILL ADDED FOR STORM WATER DRAINAGE AWAY FROM MANHOLE RIM.
 - PRIVATE SANITARY SEWERS ARE TO BE PRIVATELY OWNED, OPERATED AND MAINTAINED BY SERVICED PROPERTY OWNER.

- WATER NOTES:
- WATER MAINS/METER CONSTRUCTION SHALL BE IN ACCORDANCE WITH BRYAN CITY FOR WATER MAIN CONSTRUCTION AND MATERIALS AND SPECIFICATION FOR WATER TAPS AND SERVICE LINES 3/4" THROUGH 2", AND FOR LARGE METERS AND SPRINKLER CONNECTIONS WITH LATEST ADDENDA AND AMENDMENTS THERETO.
 - 1 1/2" THRU 3" WATER MAIN SHALL BE SCH. 40 PVC PIPE.
 - ALL WATER MAINS SHALL HAVE 6" OF BANK SAND ENVELOPE AND SHALL BE BACKFILLED TO A MINIMUM COMPACTED DEPTH OF 6" OVER THE TOP OF THE PIPE TO PROVIDE A COMPACTED ENCASEMENT.
 - CONTRACTOR SHALL PROVIDE FOR A MINIMUM HORIZONTAL CLEARANCE OF 9' (NINE FEET) AND MINIMUM 2' (TWO FEET) BETWEEN OUTSIDE OF WATERLINES AND OUTSIDE EDGE OF SANITARY SEWER MANHOLES OR LINES.
 - CONTRACTOR SHALL PROVIDE ADEQUATE THRUST BLOCKING TO WITHSTAND TEST PRESSURE SPECIFIED IN SPECIFICATION FOR WATER MAIN CONSTRUCTION AND MATERIALS WITH LATEST ADDENDA AND AMENDMENTS THERETO.
 - ALL WATERLINES TO BE DISINFECTED IN CONFORMANCE WITH AWWA C-651
 - BACKFLOW PREVENTION DEVICE MUST BE INSTALLED ON IRRIGATION WATER METER. CONTRACTOR SHALL INSTALL DEVICE APPROVED FOR USE BY BRYAN CITY.

UNDERGROUND FIRE LINES MUST BE SUBMITTED TO FIRE PROTECTION GROUP FOR REVIEW AND A NOTIFICATION OF CONSTRUCTION IN RIGHT OF WAY PERMIT WILL BE REQUIRED FOR THE PROPOSED WORK WITHIN HARRIS COUNTY RIGHT-OF-WAY.

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REVISIONS:		
NO.	DATE	DESCRIPTION



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VOLUME 138, PAGE 573, B.C.P.R.
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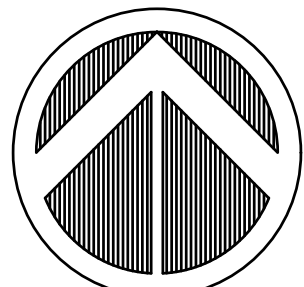
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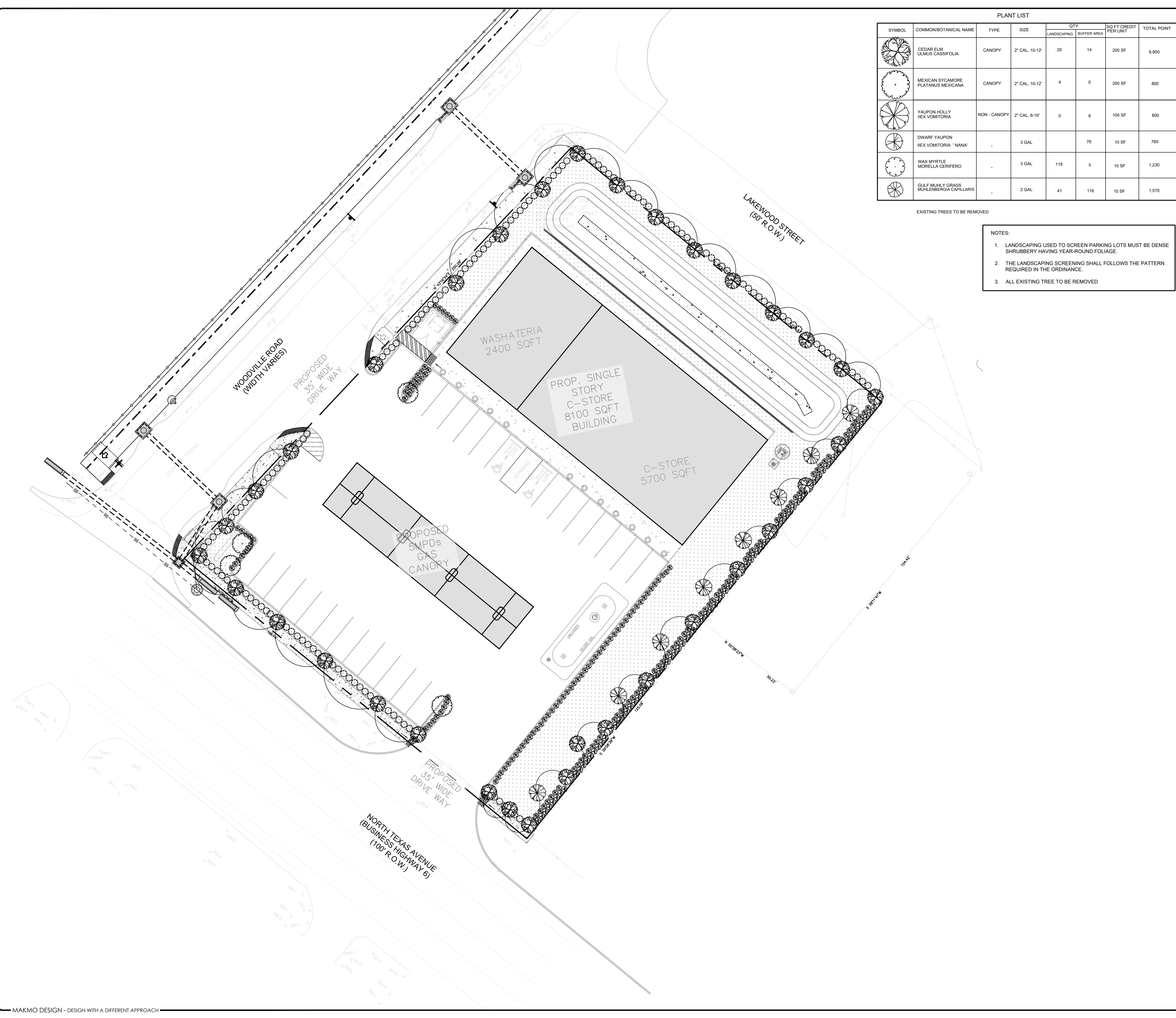
PROJECT NUMBER : 25-006
SCALE :
DRAWN BY : R.R.
CHECKED BY : A.Z
SHEET TITLE :

UTILITY
PLAN

DRAWING NUMBER:
C-5.0



NORTH
20 10 0 20 40
SCALE



PLANT LIST						
SYMBOL	COMMON/BOTANICAL NAME	TYPE	SIZE	QTY		TOTAL POINT
				LANDSCAPING	BUFFER AREA	
	CEDAR ELM ULMUS CASSIFOLIA	CANOPY	2" CAL. 10-12'	20	14	200 SF
	MEXICAN SYCAMORE PLATANUS MEXICANA	CANOPY	2" CAL. 10-12'	4	0	200 SF
	YAUPOON HOLLY ILEX VOMITORIA	NON - CANOPY	2" CAL. 8-10'	0	8	100 SF
	DWARF YAUPOON ILEX VOMITORIA 'NANA'	-	3 GAL		76	10 SF
	WAX MYRTLE MORELLA CERIFERO	-	3 GAL	118	5	10 SF
	GULF MUHLY GRASS MUEHLENBERGIA CAPILLARIS	-	2 GAL	41	116	10 SF

EXISTING TREES TO BE REMOVED

- NOTES:
- LANDSCAPING USED TO SCREEN PARKING LOTS MUST BE DENSE SHRUBBERY HAVING YEAR-ROUND FOLIAGE.
 - THE LANDSCAPING SCREENING SHALL FOLLOW THE PATTERN REQUIRED IN THE ORDINANCE.
 - ALL EXISTING TREE TO BE REMOVED

LANDSCAPE ANALYSIS:

1 -CONSTRUCTION ACTIVITIES:

PARKING & PAVEMENT = 22,401 SF
BUILDINGS = 8,100 SF
NET TOTAL = 30,501 SF

2- REQUIREMENTS:

BUILDING, PARKING, & PAVEMENT = 4,575 SF
30,501 SF @ 15% = 4,575 SF PROVIDED 6,190 SF
NET TOTAL = 4,575 SF PROVIDED 6,190 SF

NOT LESS THAN 50% OF REQUIRED AREA SHALL BE TREES—2,288 SF REQ'D; 2,300 SF PROVIDED

NOT LESS THAN 50% OF TREE PLANTED SHALL BE CANOPY; 1,144 SF REQ'D; 2,300 SF PROVIDED

3 - PROVIDED FOR LANDSCAPING 15% ;

STREET TREE (CANOPY): 20 = 4000 SF

PARKING LOT TREES (CANOPY): 3 = 600 SF

SHRUBS: 159 = 1,590 SF

TOTAL AREA PROVIDED = 6,190 SF

BUFFER YARD AREA PROVIDED :

CANOPY TREES : 14 = 2,800 SF

NON CANOPY TREES : 8 = 800 SF

SHRUBS: 121 = 1,210 SF

TOTAL AREA PROVIDED = 5,570 SF

4- BUFFER REDUCTION LANDSCAPING REQUIREMENT FOR THE REDUCED BUFFER AREA, THIS LANDSCAPING SHOULD BE COUNTED SEPARATELY FROM THE GENERAL 15% REQUIREMENT.

BUFFER LANDSCAPING CALCULATION:

BUFFER AREA: 5,020 SF
TREES FOR BUFFER: 1 TREE PER 200 SF
REQUIRED TREES: 5,020 SF / 250 SF PER TREE = 22 TREES

NOTE :
AUTOMATIC IRRIGATION IS REQUIRED FOR THIS PROJECT
ALL PARKING ISLANDS MUST HAVE A CANOPY TREE.

LANDSCAPING CALCULATIONS:

A. STREET TREES:

Length of property line in lineal feet as measured along all sides of the property fronting on a public street(s).
196.14/30 = 7 Street trees require on HWY 06
250.09/30 = 8 Street trees require on WOODVILLE ROAD
178.90 = 6 Street trees require on LAKEWOOD ST.
(Staff may create an artificial lot)

B. PARKING LOT TREES:

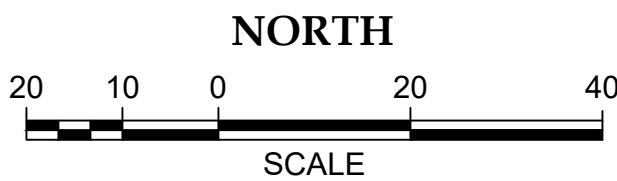
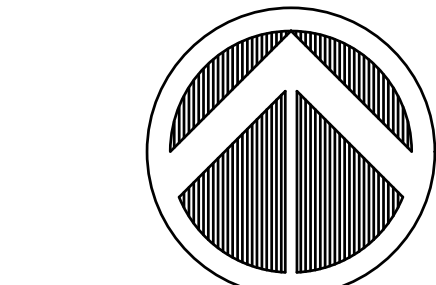
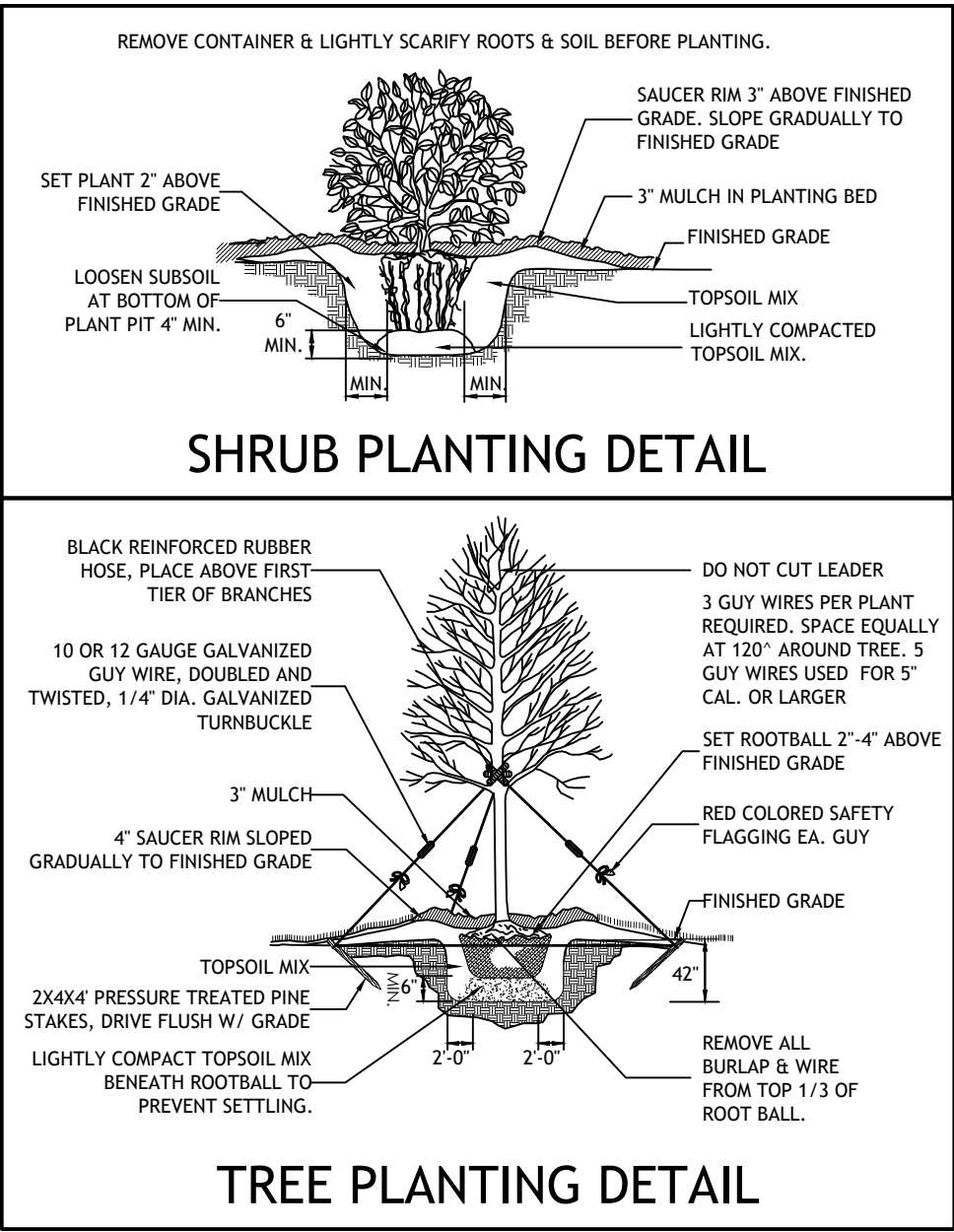
Number of new parking stalls to be constructed 36/10 = 4 Parking lot trees required.

C. TOTAL TREE REQUIREMENT:

A + B = 26 total number of street and parking lot trees required.

A. SHRUBS: (Are required for new or the expanded portion of parking lots)

Total number of Street trees required, from A above 23 x 10 =230 shrubs.
B. LANDSCAPE BUFFER:
6' high screening fence, or 15' wide evergreen planting strip along the total length of property line adjacent to existing single-family residential, or limit of expansion adjacent to existing single-family residential.
(Site plan must show land use on all side of the property)



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CHECKED BY : A.Z
SHEET TITLE :

LANDSCAPING
SITE PLAN

DRAWING NUMBER:

L-100